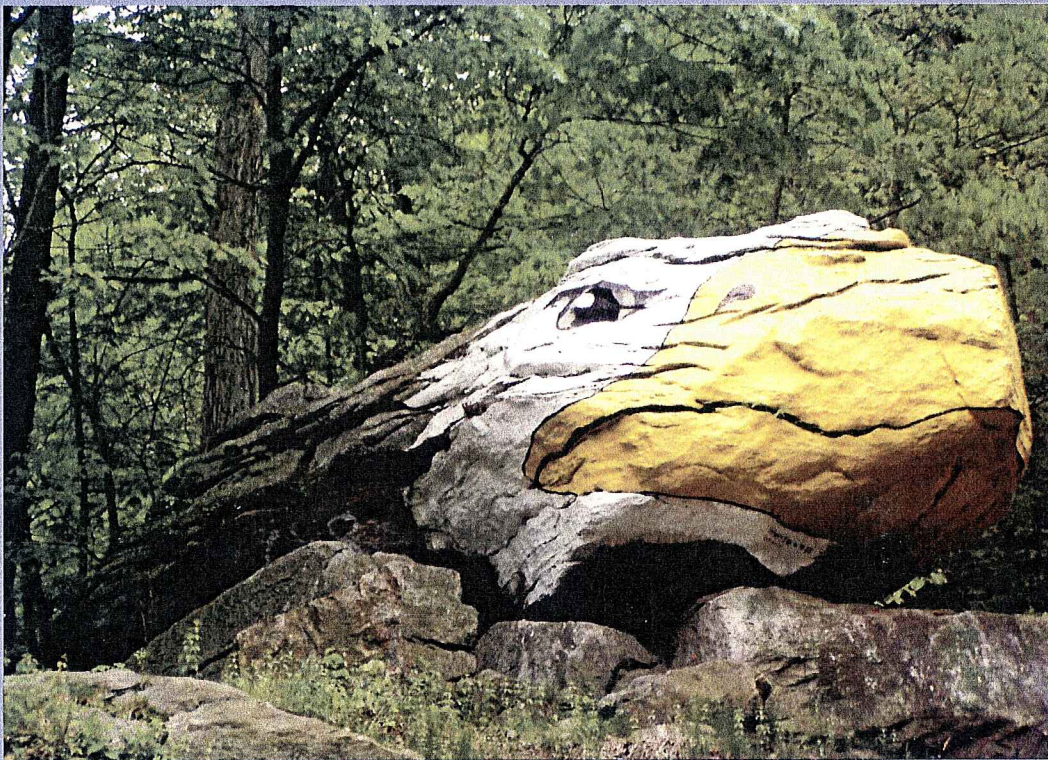


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# Plan of Conservation and Development

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**Town of Hebron**  
Connecticut

**January 2004**

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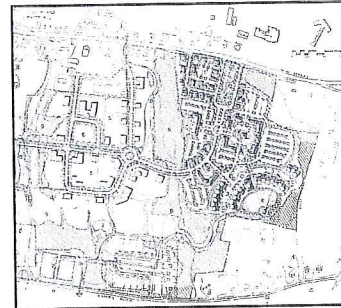
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## A. Town Center

### 4. Village Green District

The Village Green District is the name given to the planned mixed-use business expansion area within the Hebron Town Center (see attached map). The area would include four properties owned by the Horton and Porter families and St. Peter's Church. This overall area is bordered on the North by Route 66, on the West by Route 85 and on the south by Kinney Road. The total acreage is approximately 190 acres, of which approximately 130 acres is potentially developable. The present zoning is partially General Business District (Porter property) with the majority of the land zoned Residential 1 District (Horton and St. Peter's Church Property). The entire site is within the Town's sewer service district.



This area has been identified for a number of years as a potential business expansion area to serve Hebron's growing population. Recently, more intensive studies have been conducted to determine whether this location would be the best site within the Town Center to establish a mixed-use development. After analyzing soils, slopes, transportation needs, and available land throughout the center, it has been determined that this is the preferred site.

The majority of the planned Village Green District is presently farmed. The site has a pattern of open fields and some very distinctive stonewalls and tree lines. The slopes are generally moderate and wetland soils comprise less than one-third of the total area. A narrow area of wetlands is located in the middle of the site extending from Route 66 to Kinney Road and another wetland system is located on the western portion of the site, parallel to Route 85.

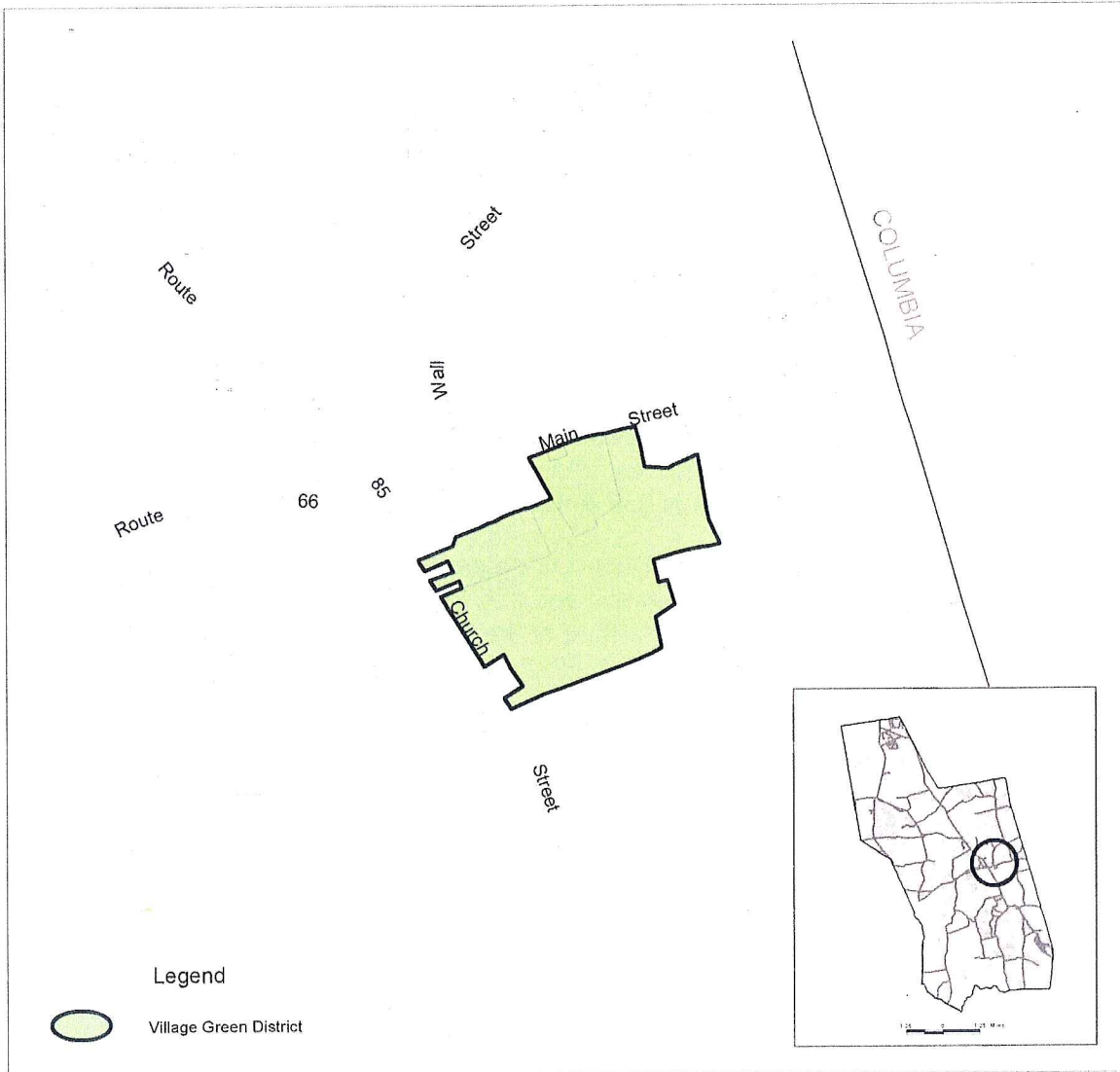
The identification of this area for an expansion of the Town's business center is only the beginning of the planning for this site. This unique site can be developed as a well-planned, mixed use new village center containing a variety of retail, office, industrial, research, residential and recreational uses.

Specific Zoning Regulations must be developed to allow a development pattern similar to a traditional New England village rather than a suburban sprawl development. Pedestrian access, shared parking lots behind buildings, quality architecture, and a compatible mixture of uses, all centered on a new village green, is the vision that begins with this planning document.

Map No. 16

VILLAGE GREEN DISTRICT

Hebron, Connecticut



Source : Digitized Hebron Assessors Map, 2002; Town of Hebron Mapping;

ELI HAN, PRECISION ASSOCIATES, INC.

**Goal:** Expand the business portion of the town center to provide for a mix of land uses in an integrated, tasteful environment which is aesthetically pleasing and attractive to the town residents as a pleasant area to shop, eat, transact business, recreate, and, for some, to reside. This will be guided by an overall plan and newly created village district regulations with an emphasis on broadening the tax base, promoting job creation, and allowing the delivery of desirable goods and services to the town.

**Objectives:**

1. The Village Green District should be a mixed-use zone with elements of commercial, retail, office, professional, residential, cultural, educational, recreational, and light industrial uses. Provisions for industrial condominiums and industrial incubator space should be encouraged.
2. Residential uses should be integrated with the commercial /retail uses, as had historically occurred around the Hebron Green, which includes shop owners, and other living quarters above the businesses.
3. Development should be land/soil/topography based, with consideration given to preserving natural features. Streams and wetlands should serve as buffer areas, and provide opportunity for passive recreation such as walking paths and trails.
4. Buffer areas along the boundary of the Village Green District shall be provided to establish a transition to adjacent established residential areas; this can be provided by the use of open space, residential uses and/or retention of existing vegetation within these buffer areas.
5. Visual coherency is important. Development should be mixed, but also “integrated”. Design standards should be established by the town and enforced by a “design development - site review” process, through the Planning and Zoning Commission, which encourages businesses that are interested in the longer-term welfare of the town.
6. The development should be “human scale”:
  - ◆ Building height restrictions should be included in the design regulations
  - ◆ Many buildings should be built at the street line
  - ◆ Adequate parking should be provided behind buildings with landscaping and trees, within easy walking distance to a variety of features.
  - ◆ Perimeter walkways should be provided around the zone that ties into the Hebron Green walks and other walkways within Hebron Center.
  - ◆ Integrated sidewalks and trails should be constructed to facilitate walking from Hebron Elementary School and Stonecroft senior housing to the Library or to the central business district.
  - ◆ A focal point for the new business center should be a new Town Green, which can establish an identity to the area and serve as a new community-gathering place.





## 7. Infrastructure:

- ◆ The town should leverage the investment in the sewers by attempting to develop additional infrastructure, such as roads, through government grants.
- ◆ The Town should solicit the development of a commercial water supply within the district for domestic and emergency supply use.
- ◆ The Town should seek to insure that a high quality communications capability is available within the proposed district.
- ◆ Incorporation of underground utilities should be required.