
Master Concept Plan (MCP) & Development Standards (DS)

Hebron Village Green District
Property of Horton Brothers LLC

Hebron, Connecticut
February, 2005



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LAND PLANNER & LANDSCAPE ARCH.
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Development Standards

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Appendix A

Hebron Planning /Zoning Commission Approval of MCP

Appendix B

Master Concept Plan

- Existing Conditions Plan
- Overall Site Layout Plan
- Section I – Site Layout Plan
- Section II – Site Layout Plan
- Overall Village Plan
- Overall Phasing Plan
- Subdivision Plan
- Grading Plan
- Stormwater Management Plan – Section I
- Stormwater Management Plan – Section II
- Lighting Plan
- Pedestrian Way & Open Space Plan
- Stonewall Preservation/Relocation Plan

Development Standards

Introduction

In 2000, the Town of Hebron re-zoned a large tract of land, owned by the Horton family, from a Residential 1 district to a newly created zone called the Village Green District. The goal of the district is to create a mixed-use business expansion area within the existing Hebron town center. The Hebron Zoning Regulations were amended to add Section 5.10 titled the Village Green District.

These standards are intended to satisfy Sec 5.10.3 Development Standards of the Village Green District regulations. This section of the Hebron Zoning regulations is an integral part of this document and the users of these standards must be intimately familiar with all sections of the regulations.

These standards consist of a mixture of text, diagrams and plans. The text and diagrams are intended to supplement the plans. Some sections of text are longer than others. Some sections have more diagrams. These sections are longer because some standards are more easily depicted on plans than others.

These standards are intended to be general in nature but specific enough for the user to understand how the project must develop. They must be used during the design of individual site plans to ensure all elements of each site plan are compatible with the overall goals of the MCP & DS. Not every concept or technique outlined will need to be incorporated into every site plan. However, every concept or technique must be considered and the applicable ones utilized and incorporated. Each site plan must undergo a Site Plan Review application process by the Planning and Zoning Commission under the requirements of Sec 5.10.4(4)(f). This review will include an analysis of the compatibility of the site plan to integrate within the overall Village Green District.

Development Standards

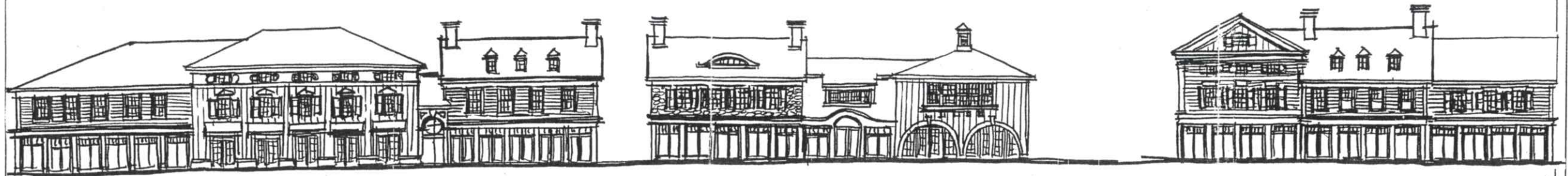
Architectural Standards

Relationship to Community

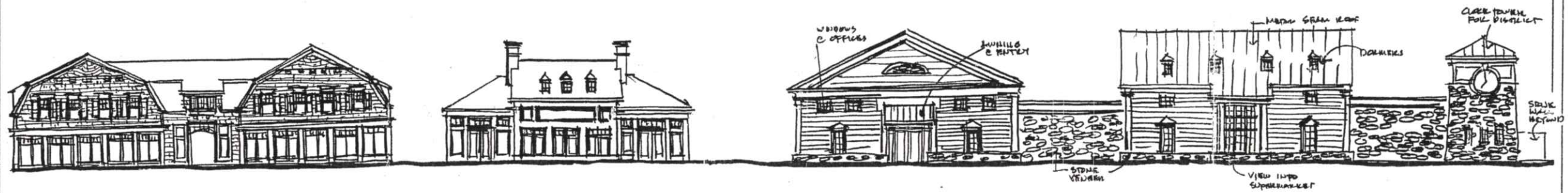
- Preserve and reinforce historic scale, massing and proportion.
- Design buildings using materials, colors and construction that are compatible to the historic buildings of Hebron.
- Establish visual and functional focal points for neighborhood developments (e.g. square with clock tower, park with community building, etc.).

Form and Space

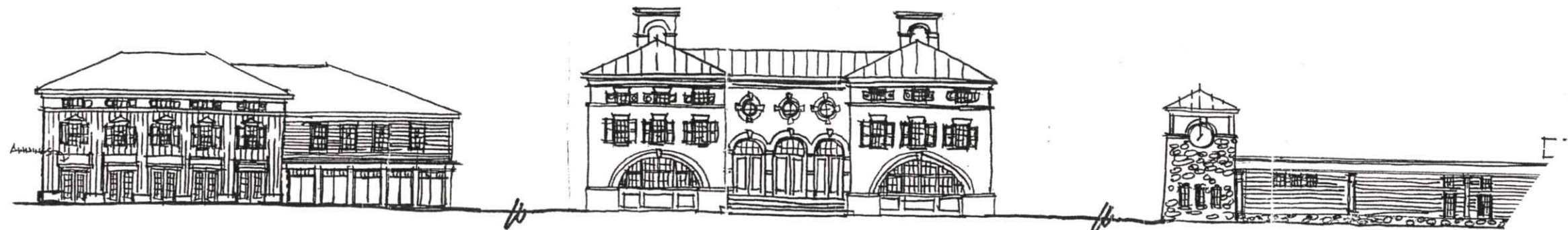
- Design interesting and proportional outdoor relationships between buildings and setbacks from roads and parking spaces.
- Establish continuity between building designs.
- Provide floor plans with space that satisfy today's business requirements. Maintain historic scale by creating the appearance of many separate buildings in a structure.
- Utilize local historic detailing, roof forms and shapes.
- Create human scale at street level openings such as doors and windows, window displays, a variety of interesting architectural features with staggered building setbacks, and areas designed for pedestrians to sit, browse and watch.
- Designate pedestrian orientated uses for first floor of buildings at Market Square that encourage pedestrian activity (e.g. shops, restaurants, etc.).
- Encourage buildings with two-story height that maintain traditional New England design.
- Establish special architectural features at intersections or main entrances.
- Architectural standards for the Village General and Village Edge will be developed when the MCP is amended for Section II



MARKET SQUARE NORTH ELEVATION



MARKET SQUARE SOUTH ELEVATION



MARKET SQUARE EAST ELEVATION

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Date
6-22-04

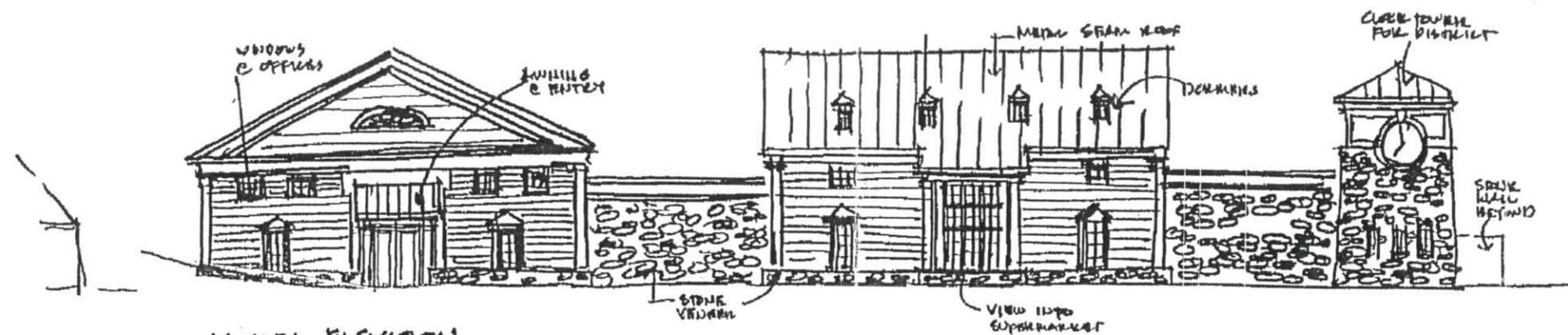
Remarks

Kemper Associates Architects LLC
100 Farmington Avenue • 8th Fl. • Farmington, Connecticut 06030
(860) 439-7100 Fax (860) 439-7100

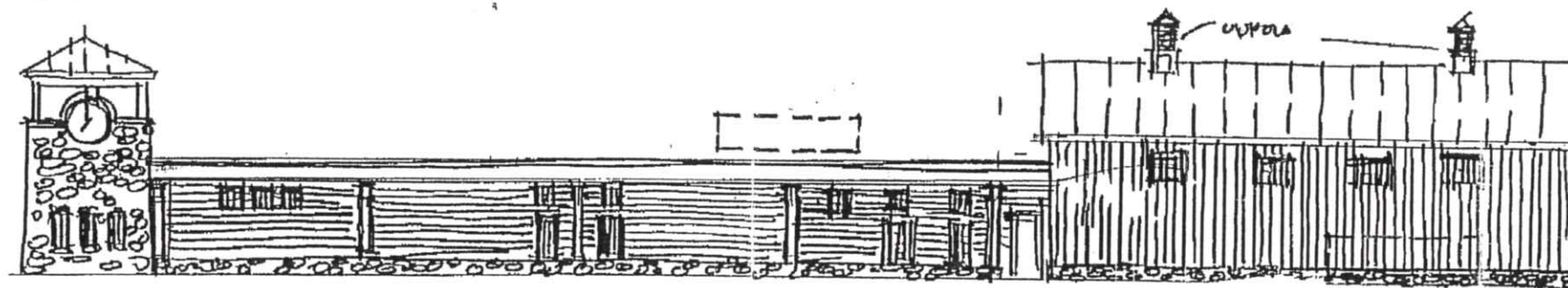
VILLAGE GREEN DISTRICT
HORTON PROPERTY
HEBRON CONNECTICUT

Sheet No.

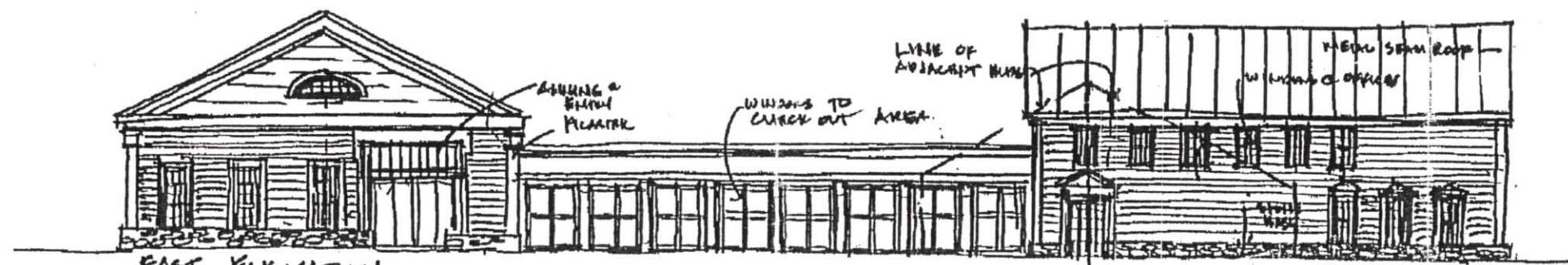
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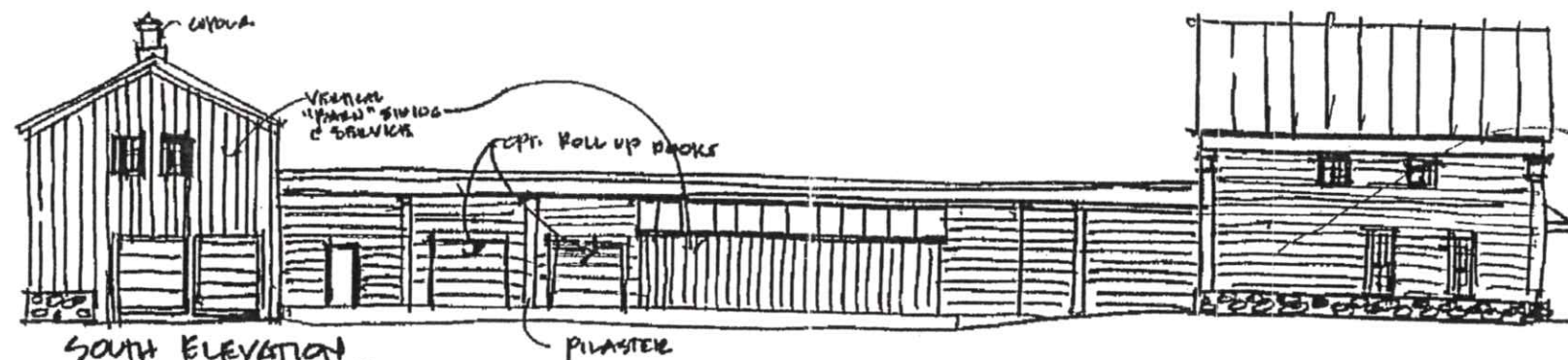
NORTH ELEVATION
3/32" = 1' 0"



WEST ELEVATION
3/32" = 1' 0"



EAST ELEVATION
3/32" = 1' 0"



SOUTH ELEVATION
3/32" = 1' 0"

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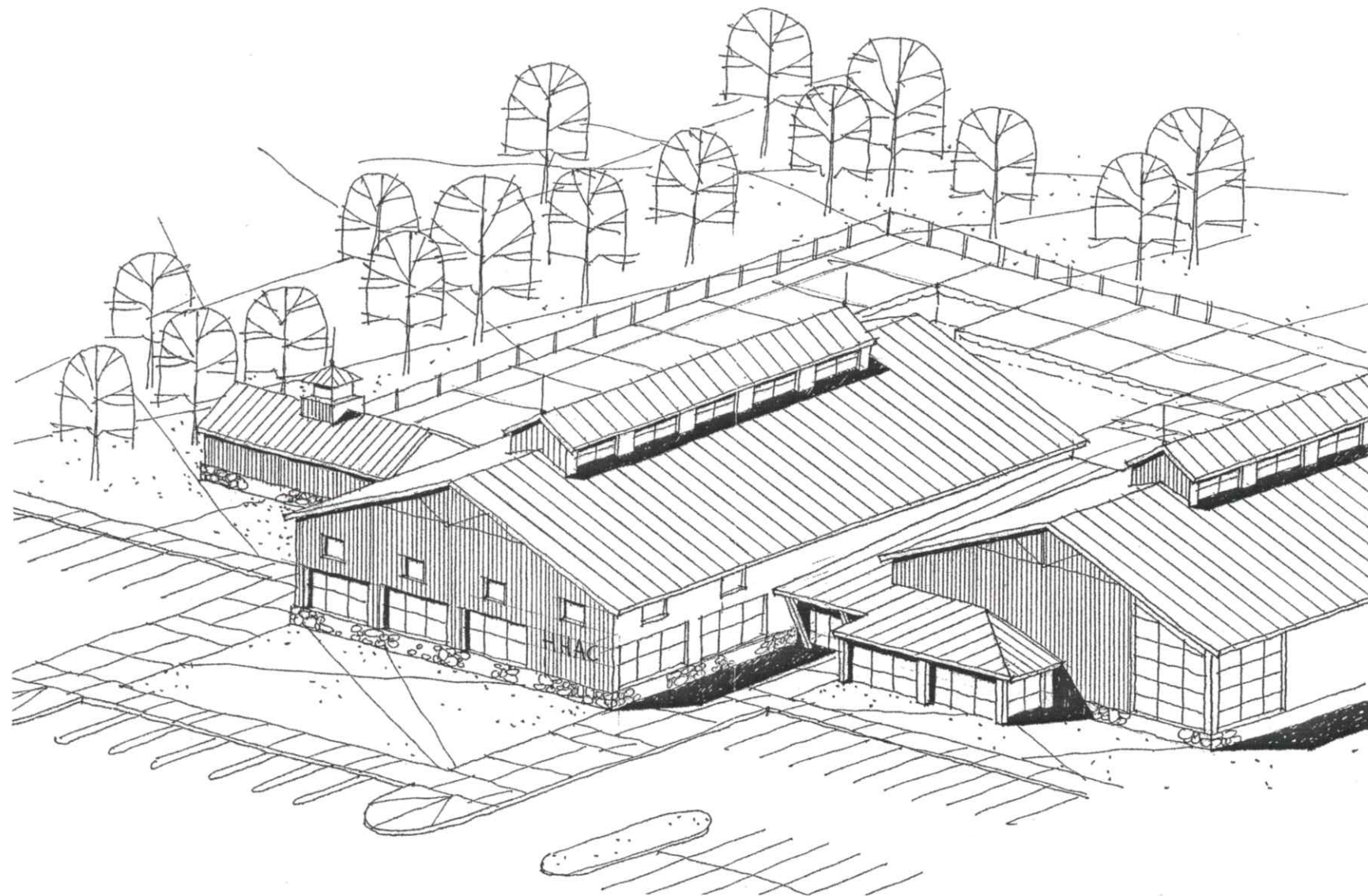
VILLAGE GREEN DISTRICT
HORTON PROPERTY
HEBRON, CONNECTICUT

Revision

MARKET

Checked By

Sheet No.

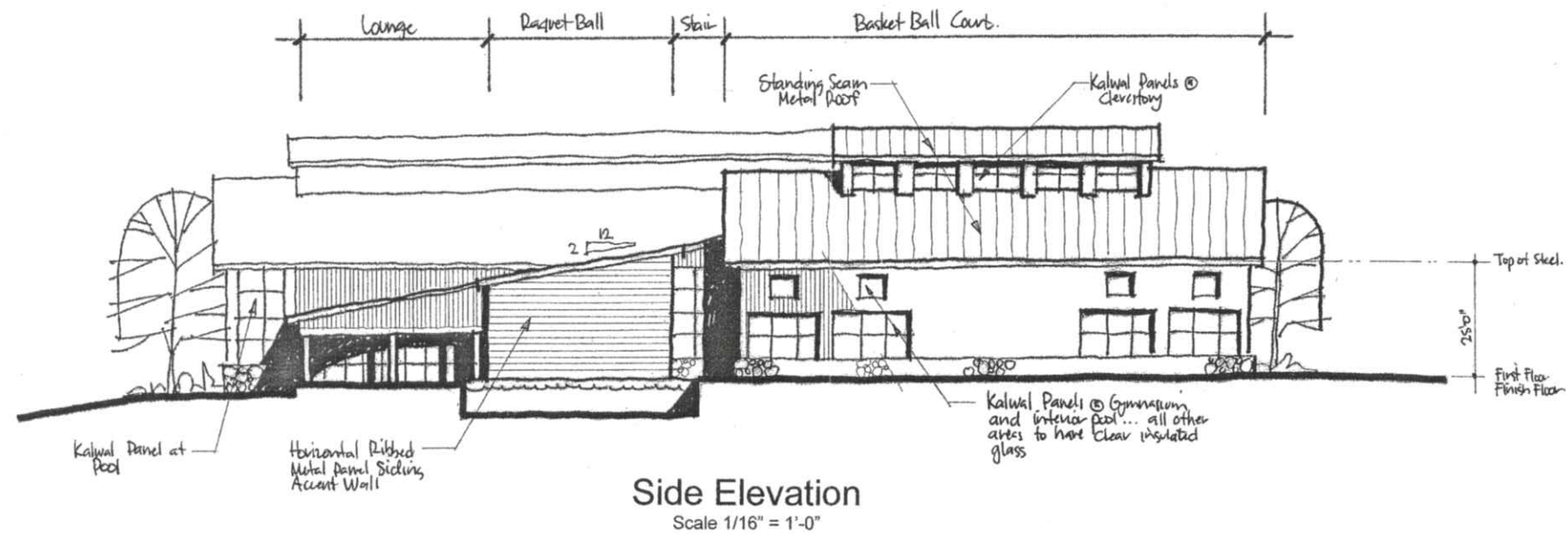
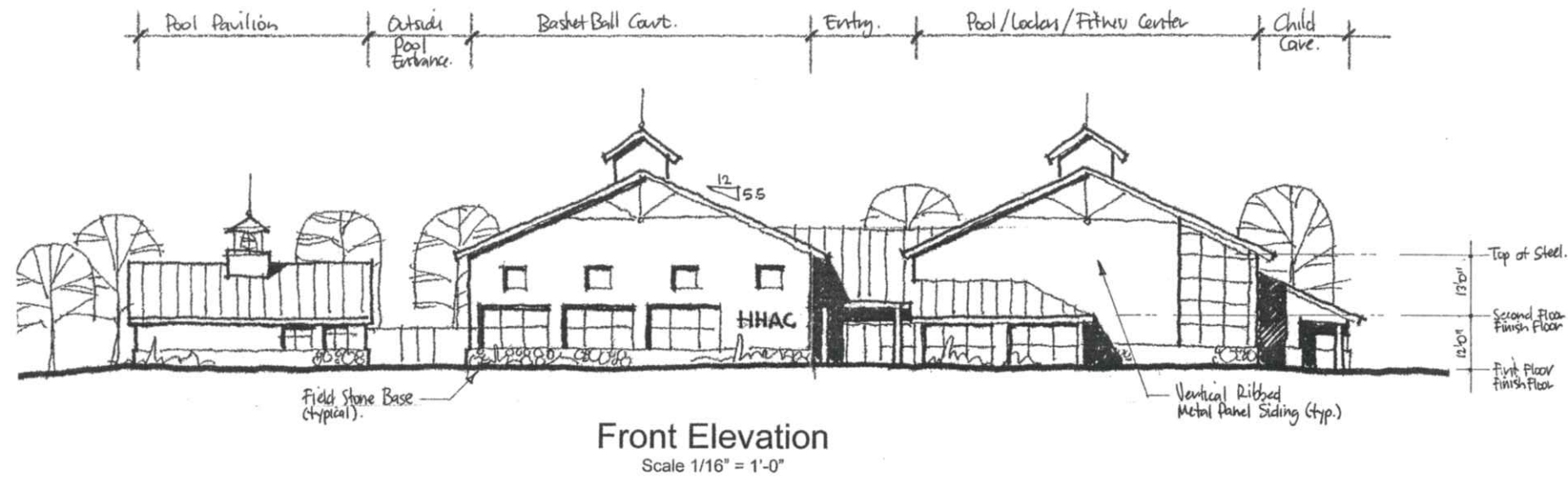


Preliminary Design for the

Hebron Health and Aquatic Center HHAC

Village Green District, The Horton Property - Hebron, Connecticut

Schoenhardt Architecture + Interior Design
One Massaco Place Simsbury, Connecticut 06070



Hebron Health and Aquatic Center HHAC

Village Green District, The Horton Property - Hebron, Connecticut

Schoenhardt Architecture + Interior Design
One Massaco Place Simsbury, Connecticut 06070

Development Standards

Site and Landscape Design Standards

Relationship to Natural Environment

- Preserve a variety of wildlife habitats and natural landscapes (e.g. wetlands, wooded uplands, open fields, stream belts, etc.).
- Maintain a minimum setback of 50 feet existing or restored natural landscape adjacent to wetlands.

Relationship to Community

- Provide a minimum buffer yard of 50 feet around perimeter of property adjacent to residential lots. Existing vegetation must be maintained wherever possible. When substantial existing vegetation does not exist, or cannot be maintained, the commission may require a 35' planted area with 10 trees per 100 lf consisting of 75% evergreen trees 6-8' in ht. and 25% deciduous trees 2 ½-3" cal.
- Screen view of proposed development and minimize vehicle headlight glare on adjacent uses.
- Provide a minimum buffer yard of 25 feet around perimeter of property adjacent to non-residential uses.
- Separate incompatible uses with open space or natural buffers.
- Incorporate historic cultural landmarks (e.g. old stone walls, tree stands on edge of open space areas, etc.).

Sidewalks and Pedestrian Paths

- Provide decorative patterned walkways (concrete, pavers, etc.) in Market Square area.
- Provide concrete walks along the west side of the boulevard Between Rt 66 and through the Market Square.
- Provide bituminous concrete walkways on one side of the public road between the Market Square and Kinney Road.
- Provide stone dust pathways and natural trails in the Open Space areas.

Storage and Loading Areas

- Construct berms, plant evergreen trees 6-8' ht., install 6 ft. fence or wall etc. Design screening to minimize view of storage and loading areas.

Development Standards

Open Space Standards

General

- Open space and pedestrian ways must consider connection to future open space to the south of Kinney Road, Hebron Elementary School. Pendleton Village, route 66 and other existing and future open space.
- Refer to the Pedestrian Way & Open Space Plan.

Public Spaces for Outdoor Activity

- Establish a Market Square.
- Establish a Neighborhood Park with Community Building.
- Establish playing fields for soccer and baseball.
- Establish areas for court games such as tennis.
- Establish a playground.
- Establish walkways and trails that connect proposed neighborhoods with surrounding community (e.g. Hebron center, schools, open space, etc.)
Public Gathering Areas should be established in areas such as the Market Square and Neighborhood Park with street furniture and sitting areas.

Natural Features

- Preserve wetlands, natural landscape areas adjacent to wetlands, buffer yards, etc.
- Preserve existing laneways to be utilized for pedestrian ways.
- Preserve existing stonewalls.

Development Standards

Drainage Standards

General

- Design each site plan to be consistent with and integral to the overall drainage system within entire Village Green District.
- Design to be consistent with Town of Hebron Public Improvement specifications.
- Design to be consistent with Town Center Stormwater Management Study.
- Design to be consistent with National Pollutant Discharge Elimination System (NPDES).
- Design to be functional, environmentally sensitive & aesthetically compatible with the surrounding development.
- Incorporate Low Impact Development (LID) practices.
- Incorporate Best Management Practices (BMP's).
- Remove at least 80% of the total suspended solids & floatable pollutants before discharge to a surface water.
- Prevent increases in peak runoff rates to receiving waters.
- Minimize increases in runoff volumes.
- Minimize loss of long term recharge during low flow periods.
- Treat first flush.
- Utilize Town Green for stormwater management.
- Reduce peak design flows from 2 yr. storm events by 50%.

Site Layout

- Design to maintain natural drainage patterns.
- Design to maintain existing streambelt corridors.
- Design of each site plan to incorporate de-centralized micro-scale controls.

Source Controls

- Prevent contact with waste & material storage areas.
- Separate clean water from dirty water.
- Store hazardous materials under cover.
- Minimize use of impervious areas by incorporating grassed overflow parking.
- Break larger paved areas up into smaller areas with landscape filters.
- Minimize application of sodium chloride chemicals for de-icing.
- Fertilize based on soil testing

Development Standards

Drainage Standards (continued)

- Design of each site plan shall include a maintenance plan and schedule

Treatment Controls

Filtering Practices

- Utilize sheet flow to parking lot islands (micro-scale control)
- Utilize sheet flow to road shoulders (micro-scale control)
- Consider grass pavers
- Utilize stormwater management areas utilizing created wetlands & wet basins
- Utilize linear bio-swales

Infiltration/Recharge Practices

- Utilize islands for natural recharge (micro-scale control)
- Utilize sheet flow to parking islands (micro-scale control)
- Utilize sheet flow to road shoulders (micro-scale control)
- Utilize stormwater management areas utilizing created wetlands & wet basins
- Utilize subsurface retention/detention recharge systems
- Utilize linear bio-swales
- Direct roof water to subsurface recharge units (micro-scale control)

Settling Practices

- Design lot grading to create ponding areas in islands & shoulders (micro-scale control)
- Utilize stormwater management basins

Management of Peak Flows

- Utilize subsurface detention/retention systems
- Utilize surface detention/retention basins
- Utilize shoulders & islands for detention/retention (micro-scale control)

End of Pipe Controls

- Incorporate gross particle/oil separators where directly Discharging into wetlands and watercourses
- Utilize 2' sumps in catchbasins
- Design outlet protection @ discharge points

Development Standards

Streets and Parking Standards

General

- Create a vehicle and pedestrian traffic hierarchy

Public collector street between Main Street and Church Street.

Boulevard from Main Street to Market Square. (Refer to E2 and E3)

- 100 foot R.O.W.
- 2 lanes, 24 feet in both directions.
- Minimum 10 foot center island.
- Minimum 8 foot planting strip between curb and walkway.
- 4 foot concrete walkway (easement allows walk in planting setback area).
- Minimum 30 foot planting setback from road R.O.W.
A stone wall or post and rail fence is permitted with minimum setback of 1 foot from the road R.O.W.
- Plant shade trees 50 feet O.C. to provide canopy over roadway.
- Maintain open area or plant pyramidal trees 25 feet O.C. 100 feet before intersection. Change in landscape signals approach to intersection.

Two lane Public Collector Street from Market Square to Church Street.

(Refer to E4)

- 50 foot R.O.W.
- 26 foot pavement width
- Minimum 8 foot planting strip between curb and walkway.
- Minimum 30 foot planting setback.
- 4 foot bituminous concrete walkway (easement allows walkways in planting setback area).
- Plant shade trees 50 feet O.C. to provide canopy over roadway.

Public Access Road with Parking around Town Green. (Refer to E5)

- 24 foot wide access road.
- 9 x 20 foot parking spaces.
- Minimum 20 foot vehicle pavement setback to building.
- Plant shade or ornamental trees in 5 x 5 foot tree grates setback 3 feet from curb.
- Provide planters in front of buildings setback more than 20 feet.

Development Standards

Street and Parking Standards (continued)

- Provide decorative patterned walkway and pedestrian crossing surfaces (concrete pavers).
- Encourage pedestrians to gather by creating places for outdoor sitting and dining.
- Improve street appearance with design elements (e.g. fences, kiosks, stone walls, pots, planting beds, sculpture, festival lighting, banners, etc.).
- Install trash receptacles where accumulation of trash is likely to occur.

Off Street Parking (Refer to E6)

- Locate majority of parking at the rear of buildings and the remainder at the side yards.
- Provide a minimum 30 foot planting setback from road R.O.W. for parking lots in front of building. Screen parking with landscaping, berms fencing, stonewalls, etc.
- Protect end row parking with curbed landscape islands 10 foot wide or more.
- Create curbed landscape islands within parking lot to reduce impact of pavement and to provide shade.
- Plant landscape islands with 2 ½"-3" shade and 1 ½"-2" ornamental trees.
- Normal parking spaces to be 9'x18'.

Traffic Calming Measures

- Traffic calming measures should be incorporated into the road design of the main connector road from Route 66 to Route 85.
- Utilize concrete pavers at pedestrian crossings.
- Utilize bands of cobble stone across traveled way before pedestrian crossings and at Market Square and Neighborhood Park intersections.

Development Standards

Street and Parking Standards (continued)

Exterior Site Lighting.

Light fixtures

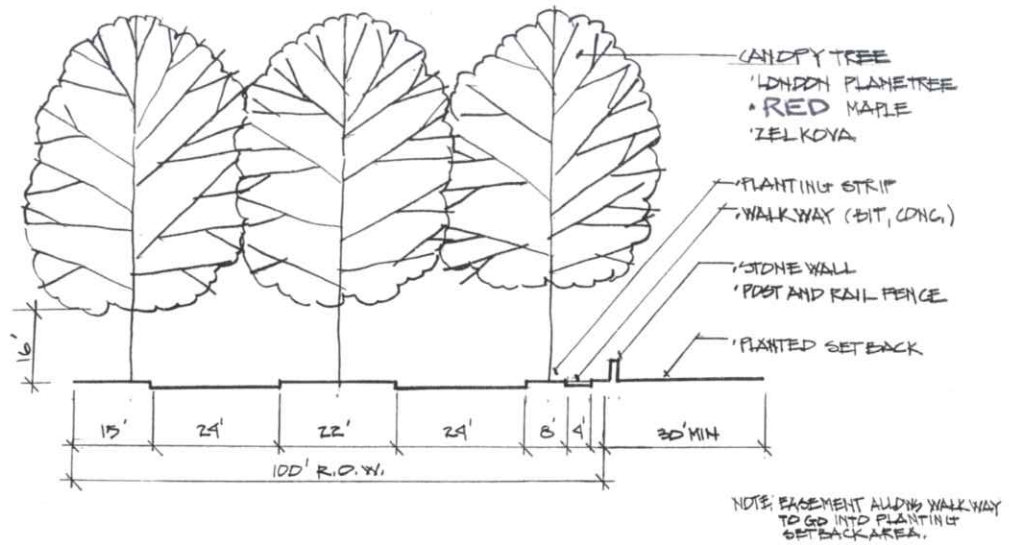
- Shoebox light mounted on 20 foot poles for public streets and commercial parking areas. (Refer to E7)
- Ornamental light mounted on 14 foot metal pole for walks and plazas in commercial areas and walkways adjacent to major and minor public roads. (Refer to E7A)
- Ornamental light mounted on 10 foot wood post for walkways and parking in residential area. (Refer to E8)
- Shatterproof lenses on low light fixtures.
- Conceal from view along Boulevard with trees.

Type of Luminaries

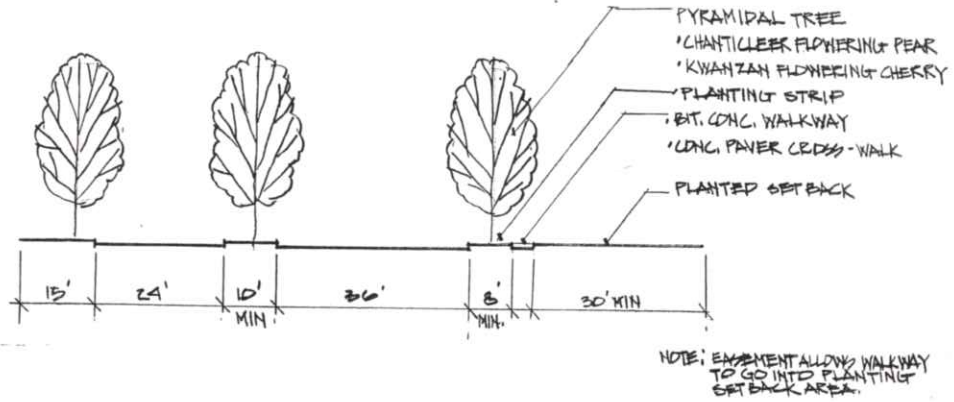
- White light lamps (e.g. metal halide, fluorescent and incandescent).
- Lighting fixtures with shielding devises or sharp cut-off refractors to eliminate up lighting. Direct down lighting without light splay off site. (Refer to E9)

Light Intensity

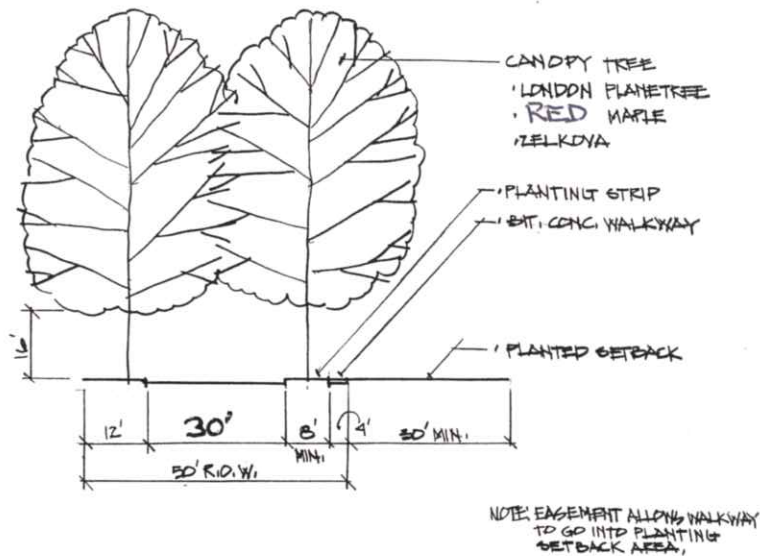
- High intensity lighting for intersections and pedestrian crossings.
- Medium intensity lighting for signs, commercial parking lots and walkways.
- Low intensity lighting for buildings, residential parking and walkways.
- Controlled lighting along buffer yards adjacent to residential uses. Maximum of one-half foot candle at the property line.



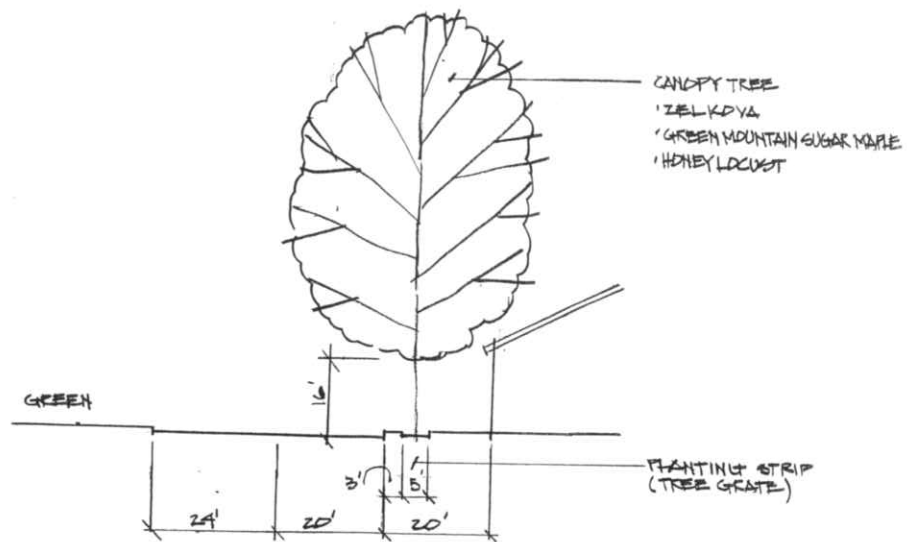
E2 BOULEVARD



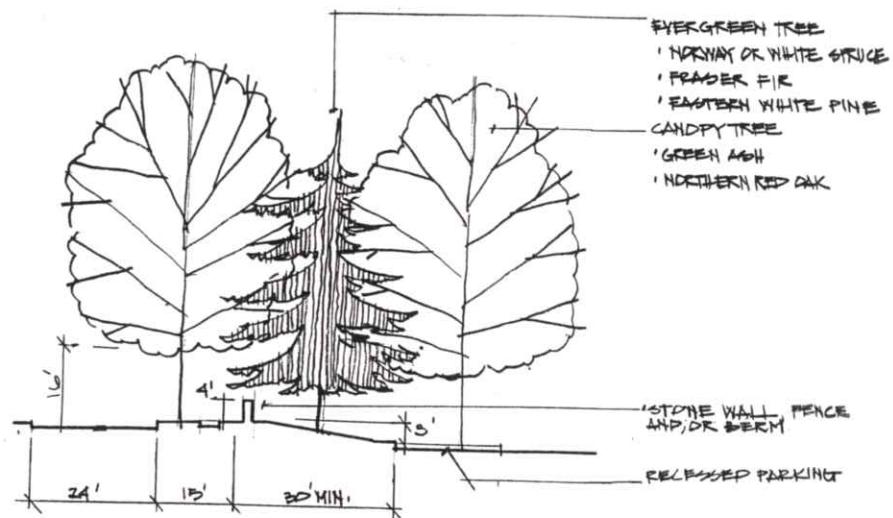
E3 BOULEVARD INTERSECTION



E4 2 LANE COLLECTOR STREET



E5 ACCESS ROAD AND PARKING AROUND GREEN



E6 PARKING IN FRONT OF BUILDING



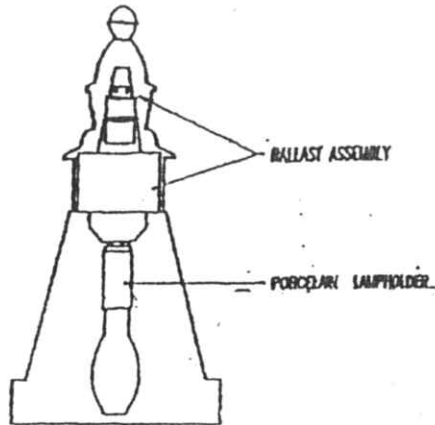
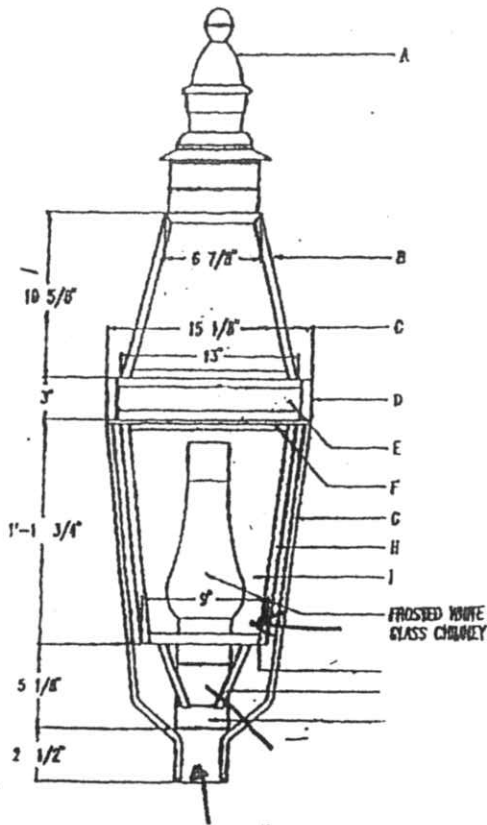
E7A



E7



E8



- A. ELECTRIC COLUMN UPPER SPINNING
- B. TOP SECTION FRAME
- C. PURE WHITE OPAL GLASS
- D. SIGN GLASS SECTION FRAME
- E. HATCHED AMBER CATHEDRAL GLASS
- F. FLAT FRAME STOCK
- G. FRAME SUPPORT RODS
- H. BOTTOM SECTION FRAME
- I. CLEAR GLASS
- J. BOTTOM PLATE
- K. BOTTOM PLATE SUPPORT BARS
- L. BOTTOM SUPPORT SECTION

1/2" BORDER OF COPPER AROUND ALL GLASS EXCEPT FOR ON DOOR. DOOR SHALL HAVE 1" COPPER BORDER WITH 1/2" BORDER ABOVE DOOR.

E9 LIGHT DETAIL

Development Standards

Sign Standards

General

- Reflect the character of the Village Green District.
- Integrate signage into site planning to insure design complements surroundings.
- Select a sign style and size appropriate for intended purpose and location of the signage.
- Avoid visual competition with other signs.
- Minimize the number of building and directional signs to avoid repetition.
- A unified sign proposal for all signage must be submitted for approval by the Planning and Zoning commission prior to the first sign being approved.

Relationship to Site and Architecture

- Create signs proportional to dimension of its location on building and structures.
- Maintain reasonable spacing between tenant's adjoining wall mounted signs and spacing to the vertical edge of any wall.
- Construct freestanding monument signs at low height levels whenever site conditions will permit visibility.
- Avoid top heavy or pole mounted freestanding signs.
- Avoid narrow width design signage with vertical dimensions less than those of the overall sign width.
- Integrate multi-sign area programs with proportional spacing, separating distances, and design consistency so as to present a distinctive singular theme to the site.

Graphics, Text and Information

- Signs should avoid slogans and general advertising themes.
- Signs should concentrate on business names, products sold, or services provided.
- Sign design should offer information in a text and graphic manner in an attractive manner so as to avoid clutter.
- Avoid small lettering when the primary vantage point is from the street rather than a proximal pedestrian sidewalk or traffic area.

Development Standards

Sign Standards (continued)

- Use of recognizable logos and illustrative street numbers is encouraged as a facet in sign design.

Materials, Color and Texture

- Use permanent durable materials. Avoid texture coated sheet metal. Sign base materials should be aesthetically consistent with signage design.
- Weather resistant and vandal proof materials should be considered elements in sign design.
- Mix lettering and background colors to produce clear and easily read signage.
- Sign edges should be an accented feature area of signage. Routing, trim and accent colors of trim surfaces are encouraged.
- Flat, matte, or semi-gloss finishes on surfaces reducing light glare from glossy or plastic finishes is a preferred sign finish detail.
- Coordinate sign background, lettering, message, color and details with architecture it serves.
- Sign lettering and message should be of a font which is legible, crisp, and easily read from the primary vantage point of the signage.

Landscaping

- Sign base plantings should assist in blending and softening the visual impact of signage to the landscape plane.
- Plants should be selected from a variety of plant and bush species that are durable and “low maintenance” offering year growth accent in signage areas.
- Low walls constructed of fieldstone, brick, or manufactured materials simulating brick or stone to define plant beds when appropriate are encouraged in signage landscaping schemes.
- Screening low level indirect lighting by use of plant materials to reduce off site light wash should be utilized as a valuable landscape feature.

Sign Illumination and Lighting

- Screen any external spot or flood lighting from view by the passerby.
- Illuminate sign surfaces only. Avoid design with light spillage to motorist traffic or pedestrian pathways.

Development Standards

Sign Standards (continued)

- Avoid overly bright illumination and blend light type and intensity to match surrounding light levels.
- Use only external lighting of signs





E12





E15

Development Standards

References

Nathan L. Jacobson & Associates, Inc., Draft Report, October 1, 2003, Town Center Stormwater Management Study Town of Hebron, Connecticut

Zoning Regulations, Town of Hebron, Connecticut, Effective Date: September 15, 1986, As Amended Through January 1, 2004

Eastern Connecticut Environmental Review Team Report, June 2000, CBD Update and Proposed Business Expansion Area

The Town of Hebron Plan of Conservation and Development, Section I., Preservation of Unique Assests, Approved: January 12, 1999

Update of the Town of Hebron, CT Plan of Conservation and Development, Section II: Community Identity and Diversity, A. Town Center, B. Business Diversity, Public Hearing: December 14, 1999, And January 11, 2000, Approved: January 11, 2000

United States Environmental Protection Agency, Office of Water (4203), Washington, DC 20460, EPA-841-B-00-005, October 2000, Low Impact Development (LID), A Literature Review

Web sites

www.lid-stormwater.net/

www.lowimpactdevelopment.org/

APPENDIX A

Hebron Planning/Zoning Commission Approval of MCP



TOWN OF HEBRON

15 Gilead Street, Hebron, CT 06248

TEL (860) 228-5971 FAX (860) 228-5980

Planning/Zoning

Building

Health

Conservation

January 12, 2005

CERTIFIED MAIL

Horton Brothers, LLC
C/o Jim Celio
27 Main Street
Hebron, CT 06248

Re: Petition #2004-14 Application of Horton Brothers, LLC for approval of a Master Concept Plan within the Village Green District under the provisions of Section 5.10 of the Hebron Green Regulations, on a 148 acre parcel of property, premise located at 17 Kinney Road, with frontage on the north side of Kinney Road, the east side of Church Street and the south side of Main Street (Map 12, Lot #59), VG District

Dear Horton Brothers, LLC:

Please be advised that at the January 11, 2005 meeting of the Planning and Zoning Commission, the Commission took the following action on the above-referenced application.

Approved, with the following conditions:

1. All future Site Plans, Special Permit and Subdivision applications shall be consistent with the approved Master Concept Plan and Development Standards.
2. Six copies of a revised final Master Concept Plan, and Development Standards, satisfying these conditions of approval shall be submitted to the Commission for approval signature. As required in Section 5.10 of the Zoning Regulations, the approved Master Concept Plan, Development Standards, and Special Permit Certification shall be filed in the Town Clerk's Office.
3. The notations on the proposed buildings in Section II, around the Neighborhood Park, shall be changed to designate business uses or mixed-use buildings, with a majority of the floor space being devoted to business uses and with business use exclusively on the entire ground floor.
4. The final design of the Site Drive and Kinney Road shall, to the extent possible, maximize the privacy of the nearest residence, and minimize the potential traffic impacts to Kinney Road. The Town Planner shall be consulted during the design process.
5. Curb cuts shall be minimized onto Kinney Road by utilizing common driveways; and, Conservation Easements shall be utilized along Kinney Road to preserve stonewall and tree lines along the edge of the road right-of-way. The Town Planner shall be consulted during the design process.
6. The Master Concept Plan shall be modified by developing architectural standards for Section II, to be approved by the Commission, prior to the approval of any Site Plan Application within Section II.
7. With each Site Development Plan submitted for approval, every reasonable effort shall be made to preserve existing stonewalls, laneways and associated tree lines and / or to relocate stonewalls that are required to be moved for site development.
8. The Master Plan standards for sidewalks (pages 4 and 8) should be consistent.
9. The Master Concept Plan drawings shall be modified to designate public parking areas in close proximity to the proposed athletic fields.

Horton Brothers, LLC

Re: Petition 2004-14

January 12, 2005

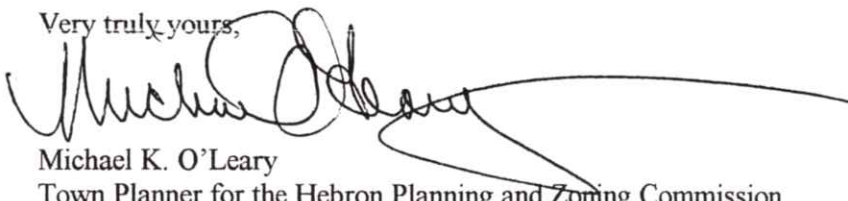
Page 2 of 2

10. During final engineering design of each Site Plan, non-traditional drainage methods shall be considered as a first alternative for storm water design. All final storm water drainage designs with each Site Plan shall be consistent with the "Town Center Stormwater Quality Study".
11. The parking space reduction as shown on the parking tabulation table shown on the Master Plan drawings is approved.
12. A Unified Sign Proposal, as described in Section 5.10 of the Hebron Zoning Regulations shall be submitted to and approved by the Commission prior to any individual sign application within the District.
13. Each subsequent Site Plan application submitted for review by the Commission shall include an A-2 survey and all the information for Site Plan submission as listed in Section 8.1 of the Hebron Zoning Regulations.
14. With each Site Plan prepared for review and approved by the Commission, every feasible and prudent effort shall be made to maintain a 75-foot separation distance of all buildings and pavement from wetland soils.
15. During the construction of various Site Plans within the Village Green District, a proportional amount of the amenities as shown in the approved Master Concept Plan (i.e., sidewalks, pedestrian paths, recreation facilities, stonewall reconstruction, open space dedications, etc.) shall be accomplished.
16. The buffer along the rear and side yards of the abutting properties on Kinney Road shall be increased beyond the noted 50 feet to the greatest extent possible or practical during final design.
17. The initial construction of the roadway for the earliest portion of Phase 1, from Main Street to Market Square, shall be as shown to the Commission during the hearing, and in a design to be approved by the Town Planner.
18. The final design of any roadway improvements shall be designed in such a way as to minimize impacts on existing grass areas, pedestrian walks and the general pedestrian accessibility of the Hebron Green. The Town Planner and the Commission shall be consulted during the design process.

Please prepare and submit six copies of all documents as noted in condition #2 for signature by the Commission following any modifications required by this approval. Also, a Special Permit Certification must be filed in the Town Clerk's Office before the approval is effective. We will prepare the Certificate for you. **A filing fee will be needed before filing with the Town Clerk.**

If you have any questions, please call me.

Very truly yours,



Michael K. O'Leary

Town Planner for the Hebron Planning and Zoning Commission

MKO/dmg

cc: Petition File #2004-14
Foster Zucchi, Building Official/Zoning Agent
James R. Celio, Agent
Leonard Jacobs, Attorney
F.A. Hesketh & Associates, Inc.
Mark Friend, Megson & Heagle

APPENDIX B

MASTER CONCEPT PLAN

Existing Conditions Plan
Overall Site Layout Plan
Section I – Site Layout Plan
Section II – Site Layout Plan
Overall Village Plan
Overall Phasing Plan
Subdivision Plan
Grading Plan
Stormwater Management Plan – Section I
Stormwater Management Plan – Section II
Lighting Plan
Pedestrian Way & Open Space Plan
Stonewall/Relocation Plan



REV. 2-2-05
REV. 12-9-04

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PHONE (860)-869-0687

MASTER CONCEPT PLAN
EXISTING CONDITIONS PLAN
HEBRON VILLAGE GREEN DISTRICT
HEBRON, CONN.

CK. BY:	MWF
DRW. BY:	AJD
DATE:	8-3-04
SCALE:	1"=300'
SHEET	1 OF 1
MAP NO.	221-99-ECF